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### 61 Kings Acre Road, Hereford, HR4 0QL

*'Situated to the west of Hereford City centre, in the well established residential location of Kings Acre, a three bedroom semi detached family home which is in excellent decorative order throughout. This home has gas central heating, double glazing, off road parking, garage and a private, established rear garden'*

**£330,000 (Freehold)**

**Residential Sales and Lettings**



## 61 Kings Acre Road, Hereford, HR4 0QL

### LOCATION

The property is located to the west of Hereford in the popular Kings Acre district. In the area are a range of amenities including local shops, public house, butchers, Holy Trinity Church and Hereford as a whole offers a wide range of shopping, leisure and recreational facilities together with educational establishments and both bus and railway stations.

### DESCRIPTION

The subject property is a well presented three bedroom semi detached family home with the added benefit of gas central heating, double glazing, off road parking, garage, conservatory and enclosed rear garden. The accommodation comprises entrance porch, entrance hall, sitting room, kitchen/dining room, conservatory, first floor landing with three bedrooms, bathroom and separate wc. In more detail the accommodation comprises:

#### ON THE GROUND FLOOR:

##### Entrance Porch

A double glazed panelled entrance door leading to the entrance porch with front and side aspect double glazed windows, tiled flooring and double glazed panelled entrance door leading to the entrance hall.

##### Entrance Hall

With front aspect double glazed window, stairs to the first floor, storage cupboard, panelled radiator, door to the kitchen/dining room and sitting room.

##### Sitting Room

3.51m (11'6) x 3.4m (11'2) (maximum)

With front aspect double glazed window, panelled radiator, television point and coved ceiling.



##### Kitchen/Dining Room

5.64m (18'6) x 3.38m (11'1) (maximum)

With rear aspect double glazed window, a range of units comprising sink drainer unit with marble work surface, tiled splash backs, base units under with matching wall units, electric oven, gas hob with cooker hood over, under-stairs storage cupboard currently being used as a pantry, side aspect double glazed door giving access to the garden, further wall and base mounted units with work surface, panelled radiator, space for dining table, coved ceiling and rear aspect double glazed patio door giving access to the conservatory.





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### Conservatory

3.45m (11'4) x 2.49m (8'2)

Of timber construction with double glazed windows, vinyl flooring and double glazed patio door giving access to the rear garden.



### ON THE FIRST FLOOR:

#### Landing

With side aspect double glazed window with storage cupboard below, access hatch to loft space with ladder, further storage cupboard, smoke alarm and doors to bedrooms and bathroom.

#### Bedroom 1

3.23m (10'7) (maximum) x 3.56m (11'8)

With front aspect double glazed window, a range of built-in wardrobes with storage over and panelled radiator.





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### Bedroom 2

3.38m (11'1) x 2.79m (9'2)

With rear aspect double glazed window having view across the garden and panelled radiator.

### Bedroom 3

2.64m (8'8) (maximum) x 2.03m (6'8)

With front aspect double glazed window, panelled radiator, laminated flooring and built-in wardrobe.



### Bathroom

2.13m (7'0) x 1.68m (5'6)

With rear aspect double glazed window. Suite comprising panel enclosed 'P' shaped bath with thermostatically controlled shower over, mixer tap, vanity wash hand basin, heated towel rail, extractor fan, partially tiled wall surround and laminated flooring.

### Separate Wc

With side aspect double glazed window, low flush wc and laminated flooring.





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### OUTSIDE:

To the front of the property is a slate border with tarmacadam driveway giving access to the front of the property and GARAGE (15'5 x 7'7) with up and over door, power, lighting, wall and base mounted units, work surface and door to the rear garden.. There is an EV charging point and a side gate giving access to the rear garden.

To the immediate rear of the garden is a patio area with steps leading to a terraced garden. The first terrace has a gravel border with water feature with steps leading to a further lawn area with picket fencing and further patio and steps again lead to the top of the garden where there is a gravel area with various mature shrubs and LARGE STORAGE SHED which has been split to provide storage and a gym area and has the benefit of power and lighting. The garden is enclosed by fencing to provide a degree of privacy.



### COUNCIL TAX BAND C

Payable to Herefordshire Council.

### BROADBAND & MOBILE PHONE

Broadband - Ultrafast available.

Mobile Phone Coverage - Please use <https://checker.ofcom.org.uk/en-gb/mobile-coverage> to verify mobile coverage of different networks at this address.

## **61 Kings Acre Road, Hereford, HR4 0QL**

### **SERVICES**

It is understood that mains electricity, gas, water and drainage services are connected to the property. Confirmation in respect of mains service supplies should be obtained by the prospective purchaser. None of the electrical goods or other fittings has been tested and they are sold without warranty or undertaking that they are installed to current standards.

### **VIEWING**

Strictly by appointment through the agents, telephone Hereford (01432) 272280.

### **DIRECTIONAL NOTE**

Proceed out of Hereford along the Whitecross Road, on reaching the roundabout take the second exit onto Kings Acre Road. Continue along Kings Acre Road turning left sign posted Carroll & Hewitt Avenue and the property is located on the left hand side as indicated by the agents for sale board.

### **FOR FURTHER INFORMATION**

PLEASE CONTACT Steven J. Thomas BSc (Est Man) FNAEA or Antony Gough on Hereford (01432) 272280. For a selection of other properties currently available, please visit [www.watkinsthomas.co.uk](http://www.watkinsthomas.co.uk), [www.rightmove.co.uk](http://www.rightmove.co.uk), [www.onthemarket.com](http://www.onthemarket.com) or [www.guildproperty.co.uk](http://www.guildproperty.co.uk).

**7th April 2025**

ID40372

## 61 Kings Acre Road, Hereford, HR4 0QL

### ENERGY PERFORMANCE CERTIFICATE

An Energy Performance Certificate has been prepared in respect of this property and the results are shown in the adjacent charts. More information is available on request.

### Energy rating and score

This property's energy rating is C. It has the potential to be B.

[See how to improve this property's energy efficiency.](#)

Score	Energy rating	Current	Potential
92+	A		
81-91	B		87 B
69-80	C	73 C	
55-68	D		
39-54	E		
21-38	F		
1-20	G		

The graph shows this property's current and potential energy rating.

**Properties get a rating from A (best) to G (worst) and a score.** The better the rating and score, the lower your energy bills are likely to be.

For properties in England and Wales:

- the average energy rating is D
- the average energy score is 60

## 61 Kings Acre Road, Hereford, HR4 0QL

### FLOOR PLAN

This floor plan is for illustrative purposes only and measurements of doors, windows, rooms and any other items are approximate. No responsibility is taken for any error, omission, or misstatement. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.

