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2 Blackberry Lane, Little Dewchurch, Herefordshire, HR2 6PZ

'Located in a convenient rural South Herefordshire village about five miles from the City, an exceptional three reception room/four bedroom detached house with central heating, triple glazing, gardens and double garage block with generous driveway.'

£480,000 (Freehold)

2 Blackberry Lane, Little Dewchurch, Herefordshire, HR2 6PZ

LOCATION

2 Blackberry Lane occupies a choice position in a maturing small residential cul-de-sac which lies on the edge of the village of Little Dewchurch. Little Dewchurch is set in glorious South Herefordshire countryside, about four miles south of the outskirts of the City. The village has a hall, public house, church and well regarded primary school. Neighbouring villages offer a fuller range of amenities with Hereford, Ross-On-Wye and Monmouth offering a combined range of shopping, leisure and recreational facilities together with educational establishments and access to road networks and bus stations. There is a bus service to both Hereford and Ross-On-Wye. Hereford has a railway station.

DESCRIPTION

2 Blackberry Lane is an impressive detached residence with extensive accommodation arranged over two levels. The rooms are generally well proportioned, the house is very well presented and it offers three reception rooms, together with a kitchen/breakfast room, utility room and cloakroom. On the first floor there are four bedrooms, one of which is en-suite, together with a bathroom. There is a wide driveway leading to the double detached garage block. In more detail the accommodation comprises:

ON THE GROUND FLOOR:

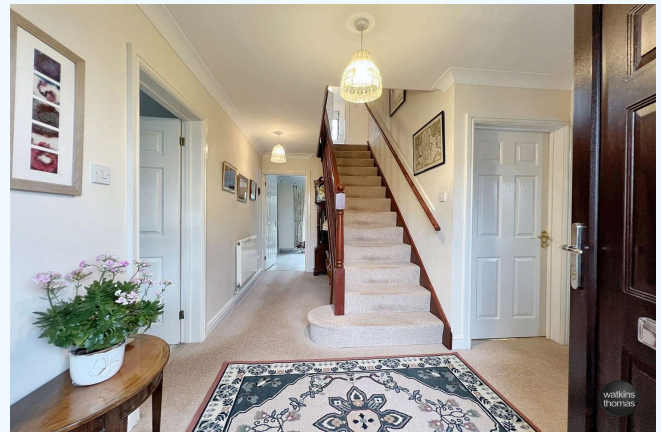
Entrance Porch

With light and having a front door with triple double glazed windows to:

The Reception Hall

4.52m (14'10") x 1.98m (6'6") (widening to 9'9")

With coved ceiling, stairway with wooden banister and hand rail, radiator, wall mounted thermostat and with doors to the study, kitchen, sitting room and:



Cloakroom

1.98m (6'6") x .84m (2'9")

With coved ceiling, extractor unit, low level wc and wall hung wash basin with tiled course over. Radiator.

The Sitting Room

3.81m (12'6") x 5.66m (18'7") (21' maximum)

With a triple glazed bay window to the front, coved ceiling, wall light points, two radiators and with a moulded timber fire surround with marble inset and hearth and living flame gas fire. A pair of doors to:



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The Dining Room

3.81m (12'6") x 3.48m (11'5")

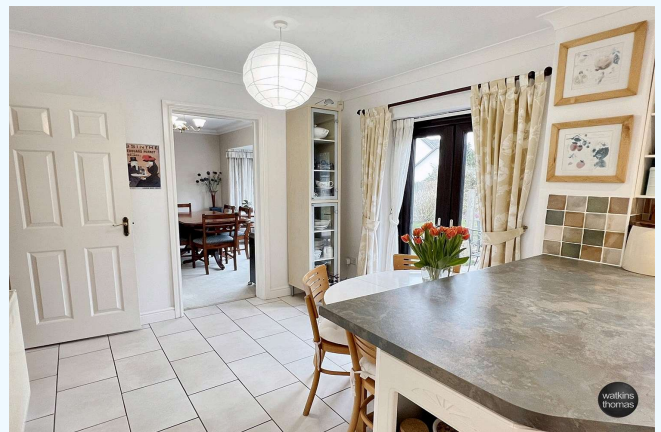
With a triple glazed bay window area overlooking the fine rear garden. Coved ceiling and radiator.



The Kitchen/Breakfast Room

5.51m (18'1") x 2.84m (9'4")

With coved ceiling, two sunken ceiling lights and having a triple glazed windows overlooking the rear garden and triple glazed French doors opening to and overlooking the rear garden. Radiator. The kitchen is fitted with an extensive range of base cupboards and drawer units with roll edged working surface over (extending to a shallow breakfast bar) and having tiled surrounds and matching eye level cabinets. Recess for appliance, 1½ bowl stainless steel sink unit with drainer and mixer tap, recess with plumbing for dishwasher, electric hob with hood over and built-in double electric eye level oven. Door to recessed broom cupboard and ceramic floor tiles which continue through to:



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Utility Room

2.39m (7'10) x 1.75m (5'9)

With fitted working surface, single drainer stainless steel sink unit with mixer tap, fitted base cupboards, recess and plumbing for washing machine and built-in eye level cabinets. Floor mounted boiler providing central heating and domestic hot water. Extractor unit, coved ceiling and door with triple glazed upper window to the side.

Study

3.15m (10'4) x 2.39m (7'10)

With a triple glazed window to the front, coved ceiling and radiator.



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ON THE FIRST FLOOR:

Well Proportioned Landing

With access hatch to loft storage space, doors to bedrooms, bathroom and airing cupboard with insulated hot water cylinder.



Bedroom 1

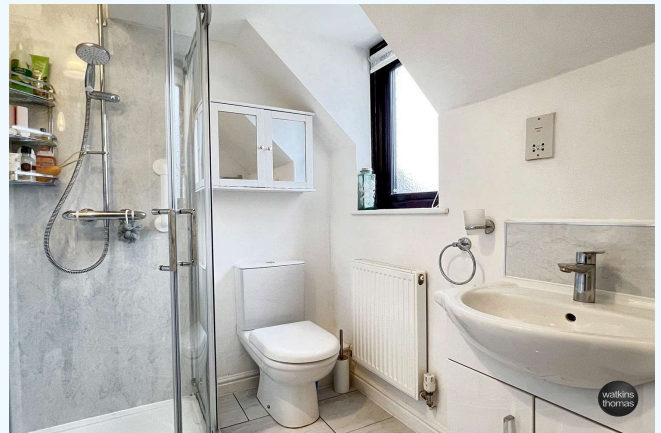
4.32m (14'2) x 3.84m (12'7)

With two triple glazed windows to the front, radiator and along one wall there are two double recessed wardrobe cupboards with hanging rails and storage shelving. Door to:

The En-Suite Shower Room

1.96m (6'5) x 1.55m (5'1)

With shower cubicle with curved screen doors, shower boarded walls and thermostatically controlled twin headed shower unit, low level wc and vanity wash basin with mixer tap. Triple glazed window, radiator, further electric ladder type radiator, extractor unit and shaver point.



Bedroom 2

3.84m (12'7) x 2.87m (9'5)

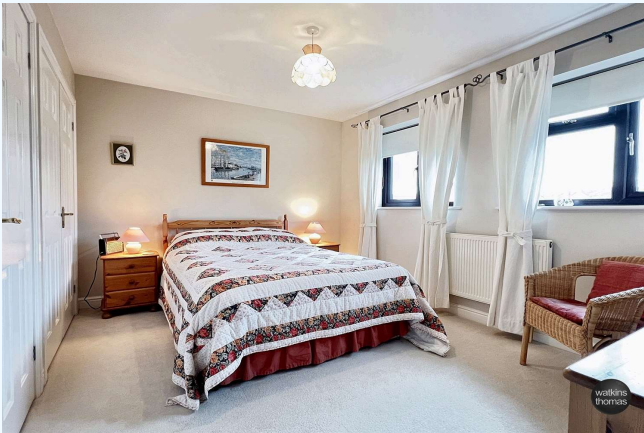
With two triple glazed windows overlooking the rear garden, radiator and two sets of double recessed wardrobe cupboards provided with hanging rails and storage shelving.

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Bedroom 3

3.43m (11'3) x 3.12m (10'3)

With a triple glazed window to the front, radiator, shallow door recess and double recessed wardrobe cupboard.



Bedroom 4

2.95m (9'8) x 2.92m (9'7)

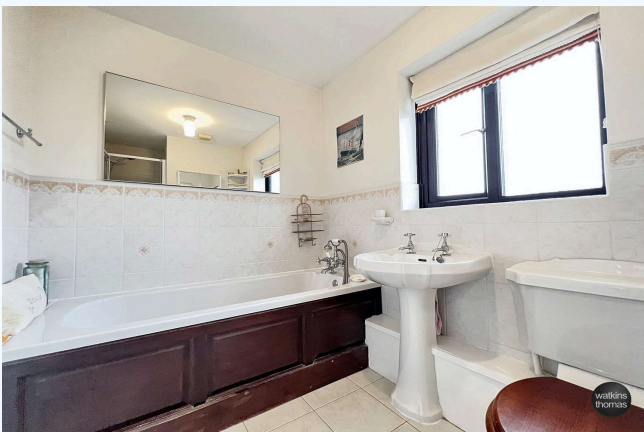
With a triple glazed window to the rear, radiator and recessed wardrobe cupboard with hanging rail.



Bathroom

2.16m (7'1) x 1.7m (5'7) (plus shower recess)

With white suite comprising bath with shower mixer tap attachment, shower cubicle with electric shower unit, pedestal wash basin and low level wc. Extractor unit, triple glazed window to the rear, part tiled surrounds and radiator.



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OUTSIDE:

The property is approached over a tarmacadam estate road which leads to the double car width/double car depth block pavior driveway beyond which is the DOUBLE GARAGE (17'10 x 19'6) which has a pair of doors to the front, a double glazed window to the rear and a personal door to the rear garden.

At the front of the property there is a lawn garden area interspersed with specimen shrubs and a standard rose. The rear garden can be approached through a gate. There is an outside light. Within the rear garden there is a shaped patio area beyond which is a lawn with stepping stones over. A pathway runs to along the length of the lawn and there are shaped planted beds and borders including Standard and Esplanade Roses, an Orange Tree and Variegated Holly. Within the rear garden there is an oil storage tank. The rear garden is enclosed by feather-board fencing.



COUNCIL TAX BAND E

Payable to Herefordshire Council

BROADBAND & MOBILE PHONE COVERAGE

Broadband - Ultrafast available.

Mobile Phone Coverage - Please use <https://checker.ofcom.org.uk/en-gb/mobile-coverage> to verify mobile coverage of different networks at this address.

SERVICES

It is understood that mains electricity, water and drainage services are connected to the property. Confirmation in respect of mains service supplies should be obtained by the prospective purchaser. None of the electrical goods or other fittings has been tested and they are sold without warranty or undertaking that they are installed to current standards.

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VIEWING

Strictly by appointment through the agents, telephone Hereford (01432) 272280.

DIRECTIONAL NOTE

From the City of Hereford proceed initially south along the A49 and turn left at the traffic lights entering Holme Lacy Road. At the roundabout take the third exit into Hoarwithy Road and continue through countryside for approximately four miles and in Little Dewchurch turn left signposted Bolstone then turn left again and Blackberry Lane will be identified.

FOR FURTHER INFORMATION

PLEASE CONTACT Steven J. Thomas BSc (Est Man) FNAEA or Antony Gough on Hereford (01432) 272280. For a selection of other properties currently available, please visit www.watkinsthomas.co.uk, www.rightmove.co.uk, www.onthemarket.com or www.guildproperty.co.uk.

ID / Date

ID40237

ENERGY PERFORMANCE CERTIFICATE

An Energy Performance Certificate has been prepared in respect of this property and the results are shown in the adjacent charts. More information is available on request.

Rules on letting this property

Properties can be let if they have an energy rating from A to E.

You can read [guidance for landlords on the regulations and exemptions](#).

Energy rating and score

This property's energy rating is D. It has the potential to be C.

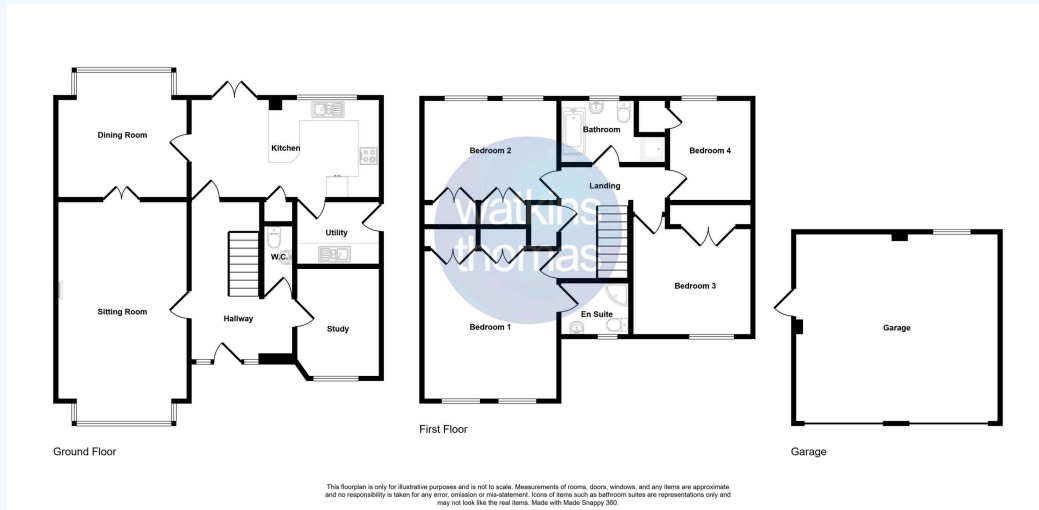
[See how to improve this property's energy efficiency](#).

Score	Energy rating	Current	Potential
92+	A		
81-91	B		
69-80	C		74 C
55-68	D	60 D	
39-54	E		
21-38	F		
1-20	G		

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FLOOR PLAN

This floor plan is for illustrative purposes only and measurements of doors, windows, rooms and any other items are approximate. No responsibility is taken for any error, omission, or misstatement. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.



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